

OWNER - VALCO PROPERTY OWNER LLC
2600 EL CAMINO REAL, SUITE 410, PALO ALTO, CA 94306
T. 650-344-1500

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
375 PEARL STREET, 31ST FLOOR, NEW YORK, NY 10038
T. 212-924-5050

ARCHITECTURE - RAFAEL VINOLY ARCHITECTS
19123 N. WOLFE ROAD, CUPERTINO, CA 95014
T. 408-627-7090

LANDSCAPE ARCHITECTURE - OLIN PARTNERSHIP LTD.
1917 JOHN F. KENNEDY BLVD, SUITE 1000, PHILADELPHIA, PA 19103
T. 215-442-0030

CIVIL - SANDS CIVIL ENGINEERS SURVEYORS PLANNERS, INC.
1700 S. WINCHESTER BLVD, SUITE 200, CAMPBELL, CA 95008
T. 408-638-0500

TRAFFIC - KIMLEY-HORN AND ASSOCIATES, INC.
1001 W. SAN FERNANDO STREET, SUITE 250, SAN JOSE, CA 95113
T. 669-800-4130

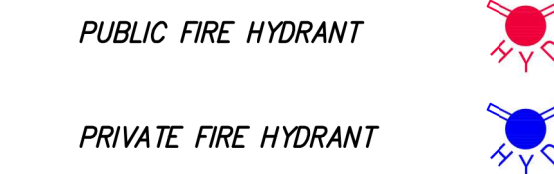
LIGHTING DESIGN - ONE LUX STUDIO
150 WEST 29TH STREET, 10TH FLOOR, NEW YORK, NY 10001
T. 212-921-5750

SIGNAGE & WAYFINDING - EXIT DESIGN
725 N. 4TH STREET, PHILADELPHIA, PA 19123
T. 215-581-1550

PARKING ENGINEERING - WATRY DESIGN, INC.
2099 GATEWAY PLACE, SUITE 550, SAN JOSE, CA 95110
T. 408-392-7050

FOOD SERVICE, WASTE MANAGEMENT & LOGISTICS - CHN LITTLE
156 2ND STREET, SAN FRANCISCO, CA 94105
T. 415-922-5900

LEGEND



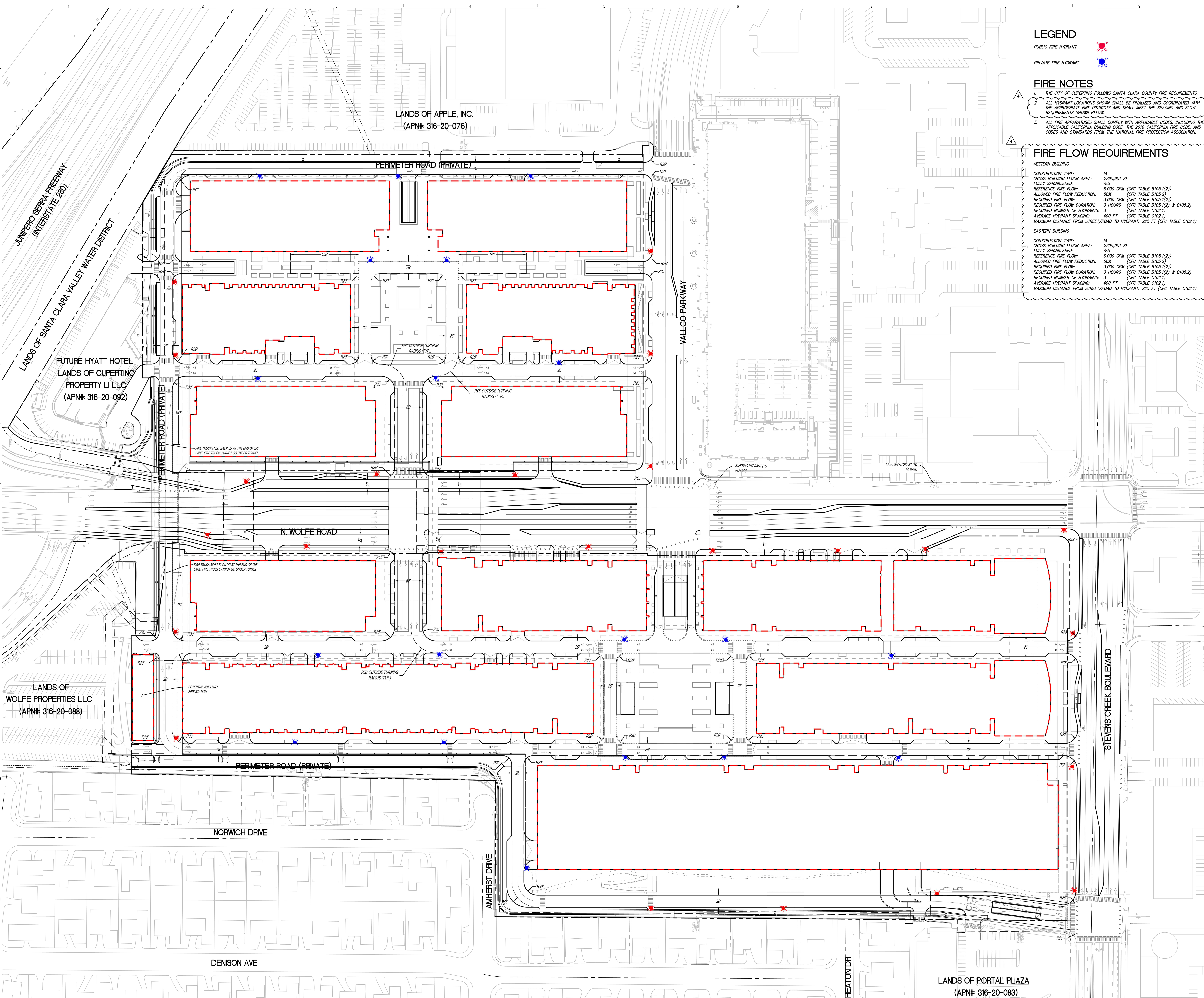
FIRE NOTES

1. THE CITY OF CUPERTINO FOLLOWS SANTA CLARA COUNTY FIRE REQUIREMENTS.
2. ALL HYDRANT LOCATIONS SHOWN SHALL BE FINALIZED AND COORDINATED WITH THE APPROPRIATE FIRE DISTRICTS AND SHALL MEET THE SPACING AND FLOW REQUIREMENTS SHOWN BELOW.
3. ALL FIRE APPARATUS SHALL COMPLY WITH APPLICABLE CODES, INCLUDING THE APPLICABLE CALIFORNIA BUILDING CODE, THE 2016 CALIFORNIA FIRE CODE, AND CODES AND STANDARDS FROM THE NATIONAL FIRE PROTECTION ASSOCIATION.

FIRE FLOW REQUIREMENTS

WESTERN BUILDING	
CONSTRUCTION TYPE:	IA
GROSS BUILDING FLOOR AREA:	>295,901 SF
FULLY SPRINKLERED:	YES
REFERENCE FIRE FLOW:	6,000 GPM (CFC TABLE B105.1(2))
ALLOWED FIRE FLOW REDUCTION:	50% (CFC TABLE B105.2)
REQUIRED FIRE FLOW:	3,000 GPM (CFC TABLE B105.1(2))
REQUIRED FIRE FLOW DURATION:	3 HOURS (CFC TABLE B105.1(2) & B105.2)
REQUIRED NUMBER OF HYDRANTS:	3 (CFC TABLE C102.1)
AVERAGE HYDRANT SPACING:	400 FT (CFC TABLE C102.1)
MAXIMUM DISTANCE FROM STREET/ROAD TO HYDRANT:	225 FT (CFC TABLE C102.1)

EASTERN BUILDING	
CONSTRUCTION TYPE:	IA
GROSS BUILDING FLOOR AREA:	>295,901 SF
FULLY SPRINKLERED:	YES
REFERENCE FIRE FLOW:	6,000 GPM (CFC TABLE B105.1(2))
ALLOWED FIRE FLOW REDUCTION:	50% (CFC TABLE B105.2)
REQUIRED FIRE FLOW:	3,000 GPM (CFC TABLE B105.1(2))
REQUIRED FIRE FLOW DURATION:	3 HOURS (CFC TABLE B105.1(2) & B105.2)
REQUIRED NUMBER OF HYDRANTS:	3 (CFC TABLE C102.1)
AVERAGE HYDRANT SPACING:	400 FT (CFC TABLE C102.1)
MAXIMUM DISTANCE FROM STREET/ROAD TO HYDRANT:	225 FT (CFC TABLE C102.1)



DATE: MAY 27, 2022

REGISTERED PROFESSIONAL ENGINEER
CHAD J. BROWNING
No. C68315
Exp. 9/30/23
CIVIL
STATE OF CALIFORNIA

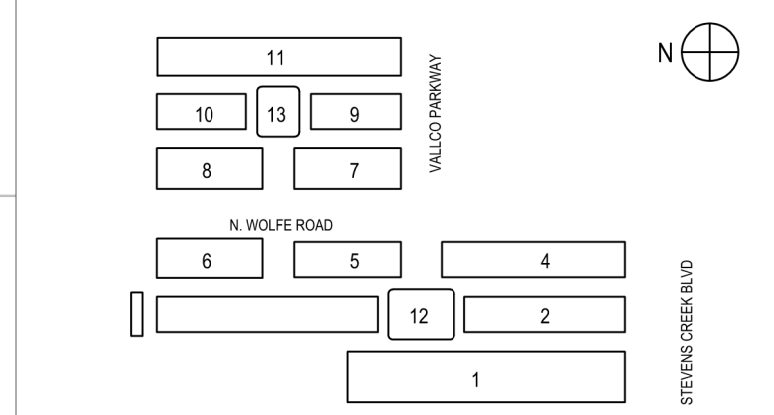
CHAD J. BROWNING
R.C.E. NO. 68315, EXPIRES 9-30-23

NOT FOR CONSTRUCTION

DISCLAIMER
THE ARCHITECT/ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY LIABILITY, LOSS, COST, DAMAGE OR EXPENSE ARISING FROM OR RELATING TO ANY USE OF THIS DOCUMENT FOR ANY PURPOSE OTHER THAN ITS INTENDED PURPOSE ON THIS PROJECT. THIS DOCUMENT IS TO BE CONSIDERED IN CONJUNCTION WITH ALL RELATED DOCUMENTATION. ANY DISCREPANCIES IDENTIFIED IN THIS DOCUMENT MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING. CONTRACTORS MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. ONLY FIGURED DIMENSIONS ARE TO BE USED FOR VERIFICATION.

SB-35 MODIFICATION APPLICATION

REV	DESCRIPTION	DATE
REV-0	SB-35 DEVELOPMENT APPLICATION	03/27/2018
REV-1	SB-35 APPLICATION - REVISIONS	08/09/2018
REV-2	SB-35 APPLICATION CONFORM SET	08/15/2018
REV-3	SB-35 MODIFICATION APPLICATION	03/23/2022
REV-4	SB-35 MODIFICATION APPLICATION	05/27/2022



KEY PLAN AND NORTH ARROW

ARCHITECTS PROJECT NUMBER: 708.012

IF THIS DRAWING IS NOT 36"x48" IT IS A REDUCED PRINT:
REFER TO GRAPHIC SCALE

FIRE HYDRANT LAYOUT PLAN - STREET LEVEL

SHEET TITLE: P-0410

STREET LEVEL FIRE HYDRANT LAYOUT PLAN
18" x 11" @ 1/8" = 1' = 0"

1

LANDS OF APPLE, INC.
(APN#: 316-20-076)

PERIMETER ROAD (PRIVATE)

VALLCO PARKWAY

LANDS OF CUPERTINO PROPERTY LI LLC
(APN#: 316-20-092)

N. WOLFE ROAD

PERIMETER ROAD (PRIVATE)

LANDS OF WOLFE PROPERTIES LLC
(APN#: 316-20-088)

POTENTIAL AUXILIARY FIRE STATION

NORWICH DRIVE

PERIMETER ROAD (PRIVATE)

DENISON AVE

AMHERST DRIVE

WHEATON DR

LANDS OF PORTAL PLAZA
(APN#: 316-20-083)