

PROJECT INFORMATION

PROPERTY DESCRIPTION: APN 316-20-120
APN 316-20-121

OWNER/SUBDIVIDER: VALLCO PROPERTY OWNER LLC
2600 EL CAMINO REAL #410
PALO ALTO, CA 94306
PHONE: (650) 344-1500
ATTN: REED MOULDS

ENGINEER: SANDIS CIVIL ENGINEERS, SURVEYORS AND PLANNERS
1700 SOUTH WINCHESTER BOULEVARD
PHONE: (408) 636-0900
FAX: (408) 636-0999
ATTN: CHAD BROWNING
NATE DICKINSON

EXISTING ACREAGE: 50.822 ACRES (GROSS)

PROPOSED ACREAGE: 49.572 ACRES (GROSS)

NO. OF LOTS (PROPOSED): 93

SMALLEST DEVELOPABLE LOT: 00.026 ACRES

AVERAGE DEVELOPABLE LOT: 00.551 ACRES

EXISTING LAND USE: COMMERCIAL

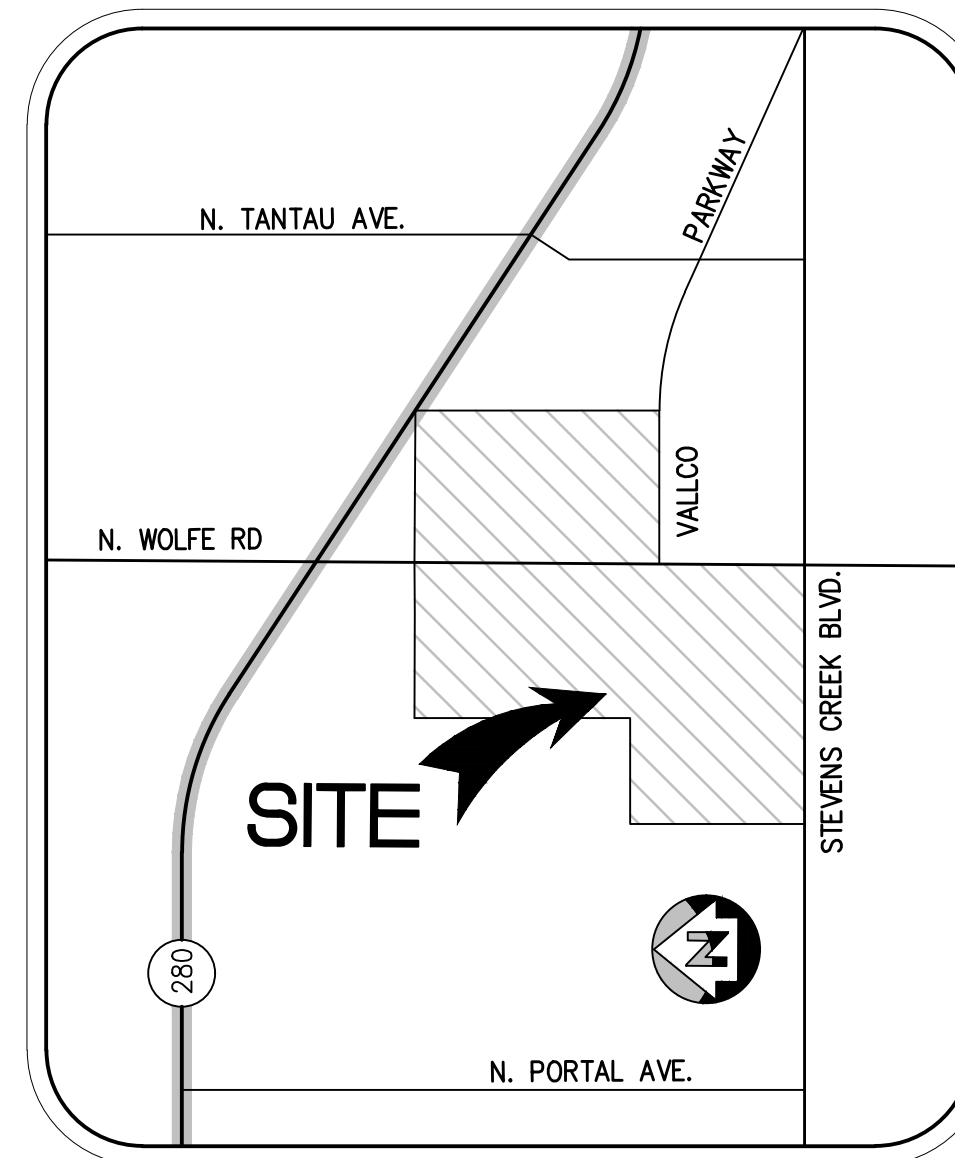
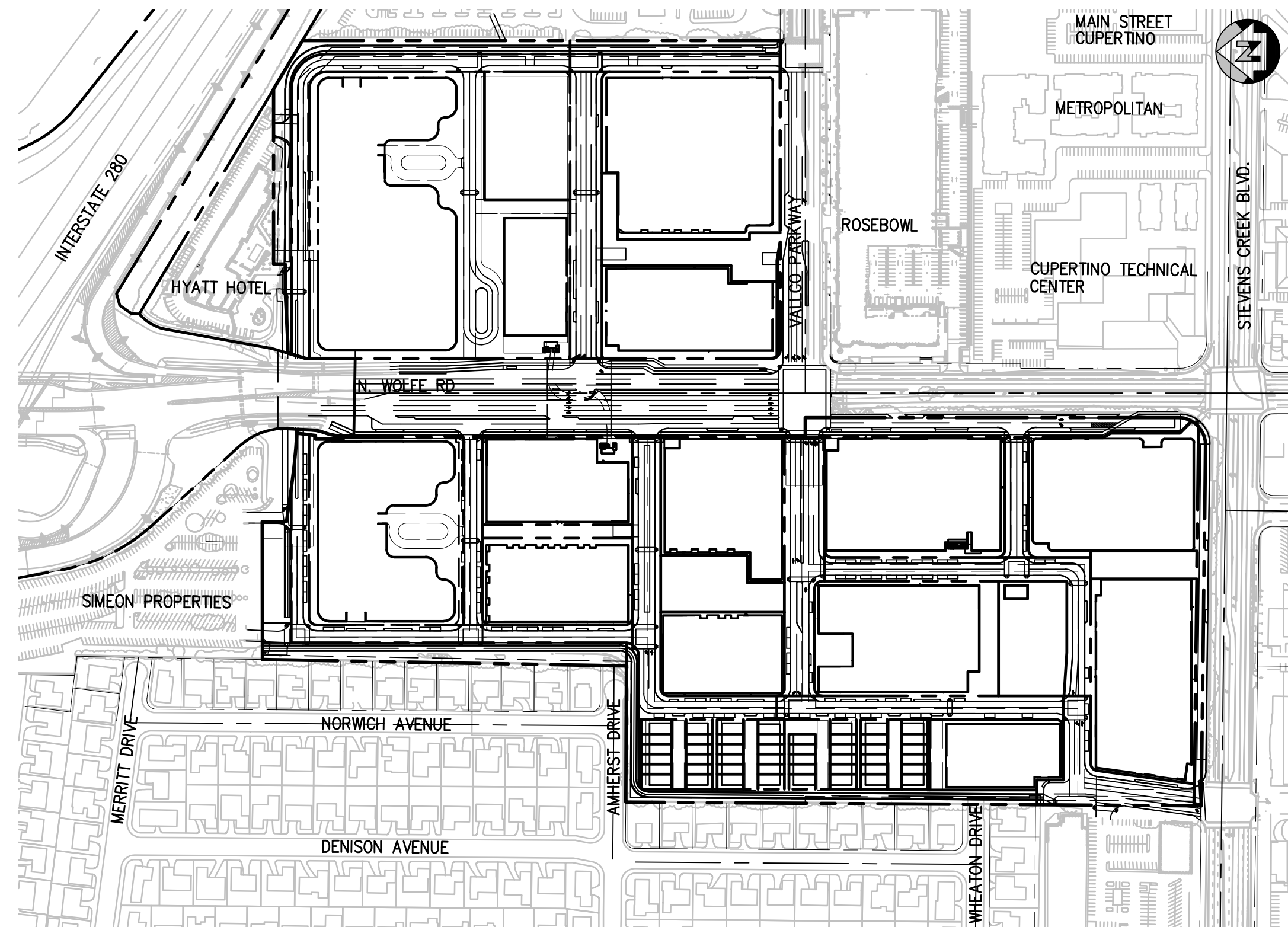
PROPOSED LAND USE: MIXED USE - COMMERCIAL/OFFICE/RESIDENTIAL

VALLCO TOWN CENTER

TENTATIVE SUBDIVISION MAP

FOR COMMERCIAL AND RESIDENTIAL CONDOMINIUM PURPOSES (UP TO 2,700 UNITS)

CUPERTINO CALIFORNIA



VICINITY MAP
N.T.S.

BENCHMARK

THE PROJECT BENCHMARK IS A SANTA CLARA VALLEY WATER DISTRICT (SCVWD) BM 136, A BRASS DISK ON TOP OF HEADWALL AT THE NORTHWEST CORNER OF CALABAZAS CREEK AND MILLER AVENUE LOCATED AT THE WEST SIDE OF MILLER AVENUE, CITY OF CUPERTINO.

ELEVATION = 204.01 FEET (NAVD 88)

BASIS OF BEARINGS

THE BEARING NORTH 88°54'46" EAST BETWEEN TWO FOUND 2" BRASS DISK MONUMENTS ALONG THE CENTERLINE OF VALLCO PARKWAY, AS SHOWN ON THE PARCEL MAP FILED IN BOOK 804 OF MAPS, PAGES 22-23, WAS USED AS THE BASIS OF ALL BEARINGS SHOWN.

SURVEYOR'S STATEMENT

THIS TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION IN ACCORDANCE WITH STANDARD PRACTICE:

SANDIS

DATE: DECEMBER 4, 2023



BY: *[Signature]*
KELLY S. JOHNSON, P.L.S.
CALIFORNIA REG. NO. 9126
LICENSE EXP. SEPTEMBER 30, 2026
MAPPING@SANDIS.NET

CERTIFY IS DEFINED AND LIMITED BY SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF CALIFORNIA

UNAUTHORIZED CHANGES AND USES

CAUTION: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of the plans.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged in connection with the performance of work on this project, excepting liability arising from sole negligence of design professional.

INDEX OF SHEETS

- TM1.0 COVER SHEET (REV-5)
- TM2.0 OVERALL TOPOGRAPHIC SURVEY (REV-2)
- TM2.1 - TM2.10 TOPOGRAPHIC SURVEY (REV-2)
- TM3.0 OVERALL DEMOLITION AND TREE DISPOSITION PLAN (REV-3)
- TM3.1 - TM3.2 DEMOLITION AND TREE DISPOSITION PLAN (REV-4)
- TM3.3 - TM3.5 DEMOLITION AND TREE DISPOSITION PLAN (REV-5)
- TM3.6 - TM3.10 DEMOLITION AND TREE DISPOSITION PLAN (REV-4)
- TM3.11 - TM3.12 TREE DISPOSITION TABLE (REV-3)
- TM4.0 OVERALL EXISTING PUBLIC AND PRIVATE EASEMENTS AND BOUNDARIES (REV-2)
- TM4.1 - TM4.10 EXISTING PUBLIC AND PRIVATE EASEMENTS AND BOUNDARIES (REV-2)
- TM5.0 OVERALL PUBLIC AND PRIVATE EASEMENTS, DIMENSIONS AND BOUNDARIES (REV-4)
- TM5.1 - TM5.3 PUBLIC AND PRIVATE EASEMENTS, DIMENSIONS AND BOUNDARIES (REV-5)
- TM5.4 - TM5.9 PUBLIC AND PRIVATE EASEMENTS, DIMENSIONS AND BOUNDARIES (REV-4)
- TM5.10 - TM5.11 PUBLIC AND PRIVATE EASEMENTS, DIMENSIONS AND BOUNDARIES (REV-5)
- TM6.0 OVERALL GRADING AND DRAINAGE PLAN (REV-4)
- TM6.1 - TM6.10 GRADING AND DRAINAGE PLAN (REV-4)
- TM6.11 - TM6.12 CROSS SECTIONS (REV-4)
- TM7.0 OVERALL UTILITY PLAN (REV-4)
- TM7.1 - TM7.10 UTILITY PLAN (REV-5)
- TM8.0 STORMWATER MANAGEMENT PLAN (REV-4)
- TM8.1 STORMWATER MANAGEMENT CALCULATIONS (REV-4)

LOCATION MAP

N.T.S.

TITLE REPORT NOTE

THE PROPERTY DESCRIBED AND SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN THE CHICAGO TITLE INSURANCE COMPANY PRELIMINARY TITLE REPORTS, ORDER NUMBER 98201069-982-SK-KC DATED SEPTEMBER 20, 2023

PROJECT DESCRIPTION

THIS TENTATIVE SUBDIVISION MAP FOR CONDOMINIUM PURPOSES COVERING 93 PARCELS IS SUBMITTED IN ACCORDANCE WITH SB 35 AND PURSUANT TO GOVERNMENT CODE §66426 AND GOVERNMENT CODE §66427(A) FOR DEVELOPMENT, FINANCING, CONSTRUCTION, LEASING AND SALES PURPOSES, TO PERMIT CONDOMINIUM UNITS WITHIN THE VALLCO SB 35 PROJECT COMPRISING UP TO 2,700 CONDOMINIUM UNITS, TOGETHER WITH RESIDENTIAL AND RETAIL/COMMERCIAL UNITS, BUT IN NO EVENT SHALL THE NUMBER OR SCOPE OF SUCH CONDOMINIUM UNITS IN THE AGGREGATE EXCEED THE NUMBER OF SUCH UNITS APPROVED FOR EACH OF THE USES, AS IDENTIFIED IN THE CONCURRENTLY FILED VALLCO PROJECT SB 35 SUBMITTAL.

CONDOMINIUM NOTE

IN ACCORDANCE WITH THE AUTHORITY OF THE SUBDIVISION MAP ACT, AND AS PROVIDED UNDER CALIFORNIA GOVERNMENT CODE SECTION 66427(E), THE BLOCKS AND/OR LOTS OF REAL PROPERTY CONTAINED ON THE WITHIN MAP MAY BE FURTHER SUBDIVIDED BY MEANS OF CONDOMINIUM PLAN OR PLANS WITHOUT NEED OF FURTHER CITY OR COUNTY APPROVALS PROVIDED THAT THE TOTAL NUMBER OF CONDOMINIUM UNITS DOES NOT EXCEED AN AGGREGATE OF 2,700 UNITS.

ABBREVIATIONS

AC - ASPHALT CONCRETE	LIP - LIP OF GUTTER
AD - AREA DRAIN	LSA - LANDSCAPE ARCHITECT
ADA - AMERICANS WITH DISABILITIES ACT	MAX - MAXIMUM
BC - BEGINNING OF CURVE	MEP - MECHANICAL/ELECTRICAL/PLUMBING
BFP - BACK FLOW PREVENTOR	MH - MANHOLE
BLDC - BUILDING CORNER	MIN - MINIMUM
BLDG - BUILDING	MISC-CO - MISCELLANEOUS CLEANOUT
BOC - BACK OF CURB	MGN - MONUMENT
BOL - BOLLARD	MOW - CENTERLINE MOW BAND
BOW - FG @ BOTTOM OF WALL	N - NORTH
BW - BACK OF WALK	NO - NUMBER
C - CONCRETE OR CIVIL	NTS - NOT TO SCALE
CB - CATCH BASIN	P - PAVEMENT ELEVATION
CL - CENTER LINE OR CLASS	PIV - POST INDICATOR VALVE
CO - CLEANOUT	PL - PROPERTY LINE
CONC - CONCRETE	R - RADIUS
DI - DROP INLET	R/W - RIGHT OF WAY
DW - DOMESTIC WATER	S - SLOPE OR SOUTH
DWG - DRAWING	SD - STORM DRAIN
E - EAST	SDCO - STORM DRAIN CLEANOUT
EP - EDGE OF PAVEMENT	SDMH - STORM DRAIN MANHOLE
EPB - ELECTRIC PULLBOX	SIGN - SIGN
ELEV - ELEVATION	SS - SANITARY SEWER
ESMT - EASEMENT	STL - STREETLIGHT LAMP NO ARM
EX, EXIST. - EXISTING	STL-D - STREETLIGHT DOUBLE ARM
FC - FACE OF CURB	STL-S - STREETLIGHT SINGLE ARM
FDC - FIRE DEPARTMENT CONNECTION	STPB - STREETLIGHT PULLBOX
FF - FINISHED FLOOR	S/W - SIDEWALK
FG - FINISHED GRADE	TC - TOP OF CURB
FH - FIRE HYDRANT	TD - TRENCH DRAIN
FL - FLOW LINE	TOE - TOE OF SLOPE
FOUND - FOUNDATION	TOP - TOP OF SLOPE
FT - FOOT	TOW - FG @ TOP OF WALL
G - GROUND ELEVATION	TS - TOP OF SLAB
GB - GRADE BREAK	U/G - UNDERGROUND
GV - GATE VALVE	WM - WATER METER
HCR - ACCESSIBLE RAMP	WPB - WATER PULLBOX
HP - HIGH POINT	WV - WATER VALVE
INV - INVERT ELEVATION	W - WEST
JB - JUNCTION BOX	W/ - WITH
JP - JOINT POLE	

LEGEND

	EXISTING	PROPOSED
SAWCUT AND CONFORM LINE	---	---
A.C. PAVEMENT	=====	=====
CONC. VALLEY GUTTER	=====	=====
CONC. SIDEWALK OR PAD	=====	=====
6" CURB & GUTTER	=====	=====
EDGE OF A.C. PAVEMENT	EP	EP
6" VERTICAL CURB	=====	=====
CENTER LINE	---	---
SANITARY SEWER MAIN	8" SS	8" SS
STORM DRAIN MAIN	12" SD	15" SD
PERFORATED PIPE	6" SD	6" SD
WATER MAIN	6" W	6" W
FIRE WATER MAIN	6" FW	4" FW
DOMESTIC WATER MAIN	6" DW	4" DW
CHILLED WATER MAIN	6" CHW	4" CHW
IRRIGATION LINE	2" IRR	4" IRR
TRENCH DRAIN	=====	=====
CONDENSATE RETURN	CR	CR
METAL BEAM GUARD RAIL	=====	=====
SILT FENCE	=====	=====
FLOW LINE	=====	=====
CHAIN LINK FENCE	x-x-x-x	x-x-x-x
GAS MAIN	G	2" G
CAP AND PLUG END DUCT BANK	E	E
OVERHEAD ELECTRIC LINE	OHE	OHE
UNDERGROUND ELECTRIC LINE	UGE	UGE
STREET LIGHT CONDUIT	SL	SL
CONTOUR ELEVATION LINE	85	90 89
SPOT ELEVATION	x 95.94	FG 95.94
DIRECTION OF SLOPE		2:1 1%
GAS METER	GM	GM
GAS VALVE	GV	GV
WATER METER	WM	WM
SWING CHECK VALVE	SCV	SCV
WATER VALVE	WV	WV
FIRE HYDRANT	FH	FH
BACK FLOW PREVENTOR	BFP	BFP
POST INDICATOR VALVE	PIV	PIV
FIRE DEPARTMENT CONNECTION	FDC	FDC
WATER LINE TEE	WLT	WLT
ELECTRIC AND SIGNAL		
AIR RELEASE VALVE	ARV	ARV
SIGN	SIGN	SIGN
ACCESSIBLE RAMP	AR	AR
CONCRETE THRUST BLOCK	CTB	CTB
REDUCER	R	R
SANITARY SEWER MANHOLE	SSMH	SSMH
SANITARY SEWER CLEANOUT	SSCO	SSCO
STORM DRAIN MANHOLE	SDMH	SDMH
STORMCEPTOR	SC	SC
STORM DRAIN AREA DRAIN	SDAD	SDAD
STORM DRAIN CATCH BASIN	SDCB	SDCB
STORM DRAIN CURB INLET	SDCI	SDCI
STORM DRAIN CLEANOUT	SDCO	SDCO
ELECTROLIER	EL	EL
JOINT POLE	JP	JP
TRANSFORMER	T	T
OVERLAND RELEASE	OR	OR

NOTES

- WATER SUPPLY: PUBLIC LINE - CALIFORNIA WATER SERVICE COMPANY (CWS)
- SEWAGE DISPOSAL: PRIVATE LINE TO CUPERTINO SANITARY DISTRICT (CSD)
- GAS AND ELECTRIC: PUBLIC UTILITY - PG&E
- TELEPHONE: AT&T
- EXISTING LAND USE: GENERAL PLAN DESIGNATION "COMMERCIAL, OFFICE, HOTEL, RESIDENTIAL" ZONING P(CG)/P(REGIONAL SHOPPING)
- PUBLIC AREAS: GENERAL PLAN SPECIAL AREA USES UNDER "VALLCO SHOPPING DISTRICT" BY EASEMENT
- PROPOSED PRIVATE AREAS: PRIVATE ROADS/Common AREAS
- STORM DRAINAGE: CLOSED CONDUIT INTO PUBLIC SYSTEM
- AREAS SUBJECT TO INUNDATION: NONE
- LAND USE PLAN DESIGNATION: PER APPROVED DEVELOPMENT PERMIT
- PROPOSED TREE PLANTINGS: AS REQUIRED BY CITY
- PROPOSED STREET LIGHTING: AS REQUIRED BY CITY
- PARCEL AREAS: SEE TM5.11 FOR PARCEL AREAS

PHASING

THE TENTATIVE SUBDIVISION SHOWN HEREIN IS SUBJECT TO FILING OF MULTIPLE FINAL MAPS BY THE SUBDIVIDER IN ACCORDANCE WITH SECTION 66456.1 OF THE SUBDIVISION MAP ACT.

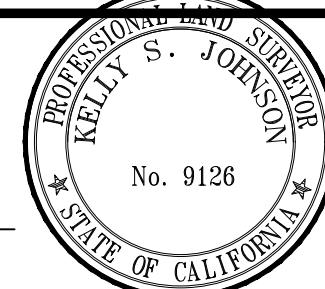
DEVELOPMENT PERMIT NOTE

- REFER TO SUBMITTAL FOR TOPOGRAPHY, UTILITIES, AND GRADING INFORMATION
- PROPOSED EASEMENTS SHOWN ARE APPROXIMATE BOTH IN LOCATION AND AMOUNT. UTILITY EASEMENTS WILL BE DEDICATED BY SEPARATE INSTRUMENT AS REQUIRED FOR CITY AND AGENCY APPROVAL AT THE TIME OF PERMIT ISSUANCE.



BUILD ON.
SANDIS.NET

DATE: 12/04/2023	DATE: DECEMBER 4, 2023
SCALE: NTS	
DRAWN BY: LS	
APPROVED BY: ND	
DRAWING NO.: 223237	
	KELLY S. JOHNSON P.L.S. NO. 9126, EXPIRES 9-30-26



No.	REVISION/ISSUE	DATE	BY
REV-1	SB-35 APPLICATION REVISIONS	08/06/2018	ND
REV-2	SB-35 APPLICATION CONFORM SET	09/15/2018	ND
REV-3	SB-35 MODIFICATION DOCUMENTS	03/23/2022	ND
REV-4	SB-35 MODIFICATION APPLICATION	05/27/2022	ND
REV-5	SB-35 MODIFICATION APPLICATION	12/04/2023	ND

COVER SHEET

TENTATIVE SUBDIVISION MAP
VALLCO TOWN CENTER
CUPERTINO CALIFORNIA

SHEET
TM1.0
OF 74 SHEETS